

**City of Hanford:**  
**A Homeowner's How-to Guide to**  
**Accessory Dwelling Units**

# A D U



**CITY OF**  
**HANFORD**

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# 1

## SECTION 1. INTRODUCTION

Recent changes to State Law have made it easier to construct Accessory Dwelling Units (“ADUs”) throughout the state. In response to these changes, the City of Hanford updated its ADU Ordinance in 2024, establishing ADU standards specific to the City. To further streamline the production of ADUs, the City has established the City of Hanford Pre-Reviewed ADU Program, offering Pre-Reviewed, “off the shelf” ADU plan sets to reduce the cost and timeframe for the ADU design and permitting process. The City has created this Homeowner’s How-to-Guide to Accessory Dwelling Units (“Guide”) to further assist property owners in the City through the process to build an ADU.

### ----- HOW TO USE THIS GUIDE -----

This Guide was created as a resource for property owners to utilize, offering information and guidance on ADU basics, regulations, design, and permitting. This Guide includes five sections:

- **Section 1 – Introduction** (current section) provides an overview of the guide and ADUs.
- **Section 2 – ADU Basics** provides a definition and overview of the ADU types.
- **Section 3 – How to Build an ADU in the City of Hanford** provides the step-by-step process for property owners to design, submit, and build an ADU in compliance with the City’s regulations and procedures.
- **Section 4 – Pre-Reviewed ADU Program** gives an overview of the City of Hanford Pre-Reviewed ADU Program.
- **Section 5 – Resources, Contacts, and Further Reading** provides references to frequently asked questions, contact information for various City departments, and links to more information related to development.

# 2

## SECTION 2. ADU BASICS

### ----- WHAT IS AN ADU? -----

At the most basic level, an ADU is defined as a secondary housing unit on a lot that contains an existing or proposed single family residence or multi-family residential development (e.g., duplex, triplex, or apartment building) and provides complete independent living facilities for at least one person. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation. Under ADU law, it is considered an “accessory” use or structure to the primary use or structure on the lot (i.e., single-family or multifamily dwellings, or mixed-use structures/uses).

### ----- ADU TYPES -----

ADUs are also known as second units, guest cottages, in-law suites, and casitas, among other terms and can be in the following forms:



#### **ATTACHED ADU**

shares at least one wall with the primary home



#### **DETACHED ADU**

free-standing structure separated from the primary home



#### **ADU CONVERSION**

conversion of existing, internal space into an ADU such as an attached or detached garage, accessory structure, or attic space

#### **JUNIOR ADU (“JADU”)**

contained entirely within the primary single-family home and up to 500 square feet in size

# 3

## SECTION 3.

# HOW TO BUILD AN ADU IN THE CITY OF HANFORD

If your property has an existing or proposed single-family home or multi-family development (e.g., duplex, triplex, apartment building), then you may be eligible to build an ADU on your property. The following is a general overview of the steps you can expect to take as you develop your ADU; details for each step are provided on the following pages.

### ----- ADU PROCESS OVERVIEW -----

#### **1** Step 1. Determine if Your Property is Eligible for an ADU

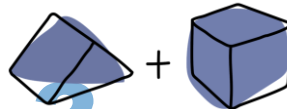
The first step is to determine if your property is eligible for an ADU. ADUs are allowed on parcels in the City that are zoned residential or are within a zone district that allow residential uses or mixed-use development **and** contain an existing or proposed single-family home or multi-family development.

#### **2** Step 2. Review Minimum ADU Requirements



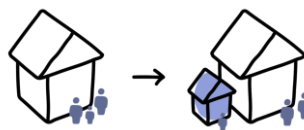
Your property and ADU concept must meet the ADU requirements according to the City's ADU Ordinance to be approved for construction. Before designing the ADU and applying for your permit, review the number of unit, size, location, height, and parking requirements for ADUs on Page 6.

#### **3** Step 3. Design Your ADU



There are 4 typical ways to design your ADU: 1) hire an experienced designer, architect, or engineer to design your ADU, 2) purchase a modular or prefabricated ADU, 3) hire a design/build firm, or 4) participate in the voluntary and optional City of Hanford Pre-Reviewed ADU Program which offers free Pre-Reviewed building plans for detached ADUs (See Pages 11-21).

#### **4** Step 4. Prepare and Submit Your ADU Permit Application



Application Requirements for your ADU are outlined on Pages 7-10 of this Guide. Once you submit a complete and accurate application package and pay the fees, your application will be reviewed for completeness, accepted, routed, and reviewed by the City of Hanford. Building permits will be issued upon approval and fee payment, and then inspections can be scheduled throughout construction.

## ----- STEP 1. DETERMINE IF YOUR PROPERTY IS ELIGIBLE FOR AN ADU -----

ADUs are allowed on parcels in the City that are zoned residential or are within a zone district that allow residential uses and contain an existing or proposed single-family home or multi-family development. Refer to [Hanford's Zoning Map](#) to locate your property and determine your property's zone district.

For assistance and official determination of whether your property is eligible, contact the City of Hanford Planning Division at 559-585-2580.

### Identify Any Site Constraints

Before proceeding any further, locate and confirm information about your property to refine your ADU concept. Refer to the City of Hanford's [Sample Plot Plan](#) or make notes on an aerial view of your property to plot your property as it exists today and to identify the size and location of your ADU concept.



#### **Determine the size and dimensions of your property:**

To determine the exact location of property lines, a licensed surveyor may be hired to conduct a survey of your property. Another option, to determine the location of street-side property lines only, is to contact the City of Hanford Public Works Department at (559) 585-2550 to determine the width of the public right-of-way adjacent to street-side property lines. Your property lines will begin where the right-of-way ends. Additionally, you may obtain a copy of a plot plan showing dimensions of the property from the City of Hanford Building Division or the Kings County Assessor's/Clerk/Recorder's office or a copy of the Subdivision Map from the Kings County Assessor's/Clerk/Recorder's office, if records are available. If reviewing older records, ensure the location of property lines shown are still current and have not been adjusted over time.

The following options may provide an estimated location of property lines, but do not guarantee their exact location. Using the Kings County [Parcel Maps Viewer](#), view the Assessor Map image for your property. Locate your property on the Assessor Map Page and make note of the dimensions (e.g., 50 feet by 100 feet, 25 feet by 150 feet). Another option is to identify permanent structures on your property (e.g., primary dwelling, detached garage or shed, etc.) and make note of the dimensions including height and distance to property lines.

☐ **Identify any easements or special requirements:**

Review a recent Title Report to identify any easements or special requirements for your property. For example, your property might have a utility easement or might grant access to an adjoining property through an access easement. In general, easements limit the buildable area on your property and their location should be noted as you start to identify the location of your ADU.

Be sure to discuss your property and project with City staff to identify any other constraints and avoid any surprises that may impact your ADU concept.

**----- STEP 2. REVIEW MINIMUM ADU REQUIREMENTS -----**

If your property is eligible for an ADU, the next step is to determine the type, number, size, height, and distance from property lines based on the City of Hanford's ADU requirements. These minimum and maximum standards are listed on the following page and contained in the City of Hanford Municipal Code Chapter 17.60.030.

The development standards provided on the next page are not intended to substitute the ADU Ordinance. Please refer to the ADU Ordinance for more information or contact the City of Hanford Planning Division at (559) 585-2580 for assistance and official determination.

**----- STEP 3. DESIGN YOUR ADU -----**

There are at least four ways to design your ADU. Be sure to continue to refer to the City's Zoning Ordinance and consult with City Staff for any questions to ensure compliance throughout the design process. A building permit submittal will require professionally-prepared plans.

Design Option	Description
Participate in the City of Hanford Pre-Reviewed ADU Program	Select from a set of plans for a detached ADU that have been pre-reviewed and approved by the City. Save on design costs. Learn more about the City's Pre-Reviewed ADU Program on Pages 11-21.
Modular or Prefabricated Home Company	Work with a modular or prefabricated home company. Some companies may handle the entire planning and design process through construction.
Hire a Designer, Architect, or Engineer	Hire an experienced designer, architect, or engineer to design your ADU and then a builder/contractor to ultimately construct the unit.
Hire a Design/Build Firm	Hire a design/build firm to handle the entire project, from design to construction.

## Development Standards by ADU Type

Refer to Hanford Municipal Code Chapter 17.60.030 for all standards and requirements

Standards	Detached ADU		Attached ADU	
	New Construction	Converted Structure	New Construction	Converted Space
<b>Number (Max.)</b>	<b>Single-family lots:</b> 1 detached ADU <b>Multi-family lots:</b> 2 detached ADUs		<b>Single-family lots:</b> 1 attached ADU and 1 JADU <b>Multi-family lots:</b> at least 1 attached ADU, not to exceed 25% of the number of units within the existing multi-family dwelling	
<b>Size (Max.)</b>	1,200 sq. ft.	Same size of the structure being converted but may be increased up to an additional 150 sq. ft. to accommodate entering and exiting	50% of the existing primary dwelling, or 850 sq. ft. for a 1-bedroom unit or 1,000 sq. ft. for unit with more than 1-bedroom, whichever is greater	500 sq. ft. for JADUs ----- All other units: 50% of the existing primary dwelling, or 850 sq. ft. for a 1-bedroom unit or 1,000 sq. ft. for unit with more than 1-bedroom, whichever is greater ----- May be increased up to an additional 150 sq. ft. to accommodate entering and exiting
<b>Setbacks (Min.)</b>	<b>Front Yard:</b> Same as primary dwelling <b>Side Yard:</b> 4 ft. min. <b>Rear Yard:</b> 4 ft. min.	No setback required if the unit is constructed in the same location and to the same dimensions as the existing detached structure ----- Any expansion of the existing detached structure shall maintain setbacks of 4 ft. from the side and rear yards	<b>Front Yard:</b> Same as primary dwelling <b>Side Yard:</b> 4 ft. min. <b>Rear Yard:</b> 4 ft. min.	No setback required if the unit is constructed in the same location and to the same dimensions as the existing attached structure or living area ----- Any expansion of the existing footprint of the attached structure or living area shall maintain setbacks of 4 ft. from the side and rear yards
<b>Height (Max.)</b>	16 ft. / 18 ft. / 20 ft. – see ADU ordinance for criteria	16 ft. / 18 ft. / 20 ft. – see ADU ordinance for criteria	25 ft. max.	25 ft. max.
<b>Parking (Max.)</b>	1 space per unit – see ADU ordinance for exceptions	1 space per unit – see ADU ordinance for exceptions	1 space per unit – see ADU ordinance for exceptions	1 space per unit – see ADU ordinance for exceptions

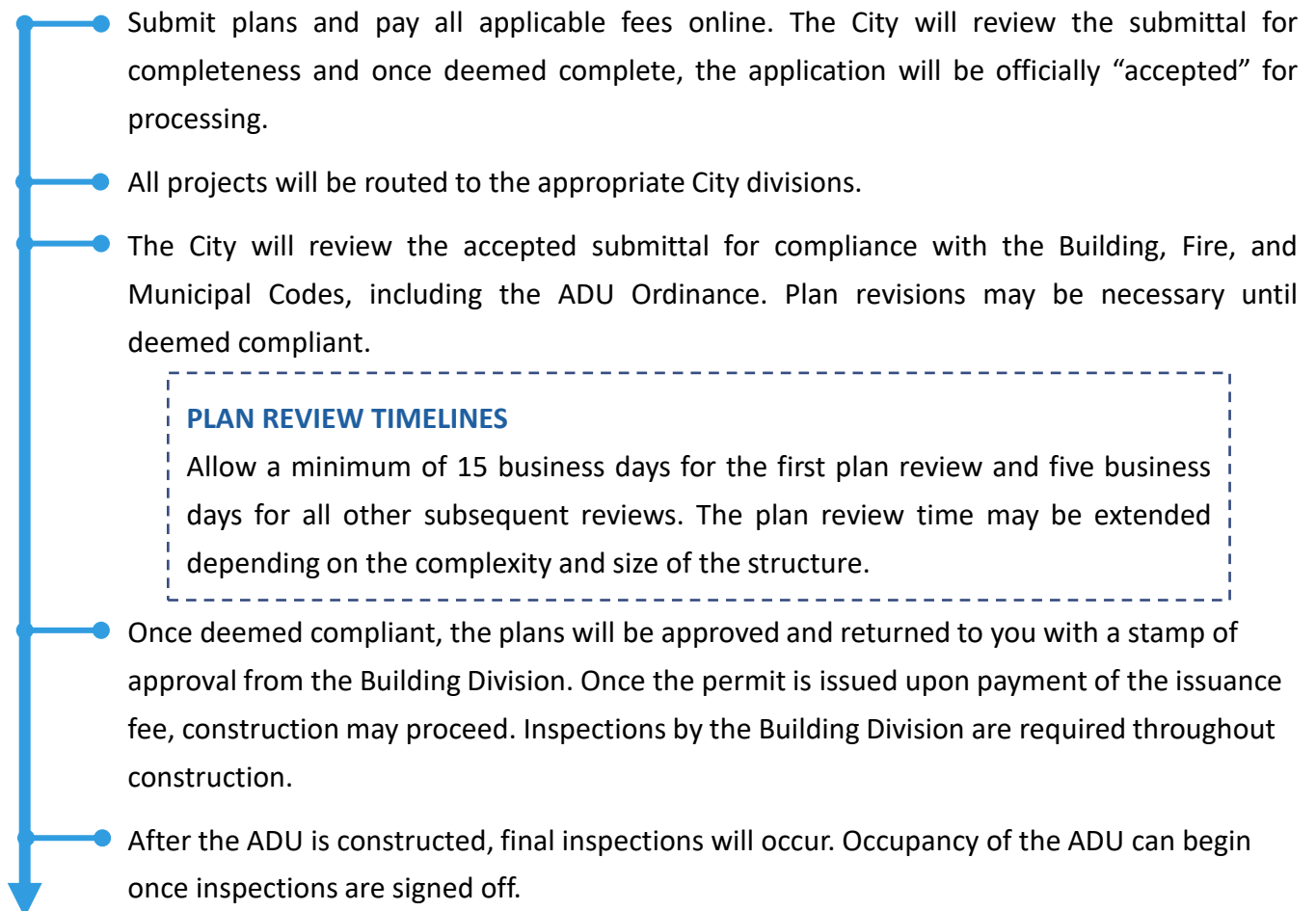


## ----- STEP 4. PREPARE AND SUBMIT YOUR ADU PERMIT APPLICATION -----

The last step is to prepare and submit your ADU building permit application. Application requirements are outlined on Pages 8-10 of this Guide. Once you submit a complete and accurate application package and pay the fees, your application will be reviewed for completeness, accepted, routed, and reviewed by the City of Hanford. Building permits will be issued upon approval and fee payment, and then inspections can be scheduled throughout construction.

### Permitting Process

All ADUs require a building permit and are subject to all standard application and permitting fees and procedures that generally apply to building permits. Depending on your situation, additional permits, studies, and reports may be required, e.g., demolition, fire sprinklers, solar panels, soils investigation, etc.



In general, if there is an existing single-family home or multi-family development on the property, complete applications will be acted on within 60 days or deemed approved. Any exceptions to this timeline are described in California Government Code Section 66317.

### Submittal Requirements

Prepare and submit all items indicated and described in the Submittal Checklist on the next page.

## Submittal Checklist

*Note: Submittal items denoted with a “\*” indicate items provided at no-cost with the Pre-Reviewed ADU Program.*

- ☐ Completed [Building Permit Application](#), submitted through the [Citizen Self Service Portal](#); utilize the “ADU - Accessory Dwelling Unit – Permit” application.
- ☐ For [New Residential Buildings](#), a complete sets of plans must be submitted, following the submittal instructions as required through the [Citizen Self Service Portal](#). The complete set must contain the following information:
  - ☐ **Site Plan** – Include owner’s name, mailing address, and telephone number; Architect or Designer name, mailing address, and telephone number; Address where work will be performed; Assessor’s Parcel Number, lot number of the subdivision, and all property dimensions; North Arrow; Location and setback dimensions for the following: Proposed development, Curb and Gutter, and sidewalk location; easements, if any; Front yard landscaping plan as per Hanford Zoning Ordinance Chapter 17.52; Index of drawings.
  - ☐ **Floor Plan\*** – Indicate square footage of proposed buildings; Room layout showing: Dimensions, Room use (name), windows sizes, types and locations, interior and exterior door sizes and locations, location of all plumbing fixtures, locations of major appliances, location of fireplace, woodburning stove, etc., location of attic access and size, location of stairs, location of firewalls, location of braced wall panels or shear walls, interior and exterior.
  - ☐ **Foundation Plan\*** – Show complete foundation layout including: dimensions, stem wall details. Show slab details with cross sectional view showing: slab thickness, depth and sand fill, 6 mil vapor barrier under habitable spaces, steel reinforcing, as required. Location of underground.
  - ☐ **Exterior Elevations\*** – A minimum of two (2) elevations showing: type of exterior wall covering (stucco, wood siding, etc.), Window and door locations, Height of buildings, Location of Address, Distance from wall covering material to grade, roof pitch, location of roof mounted HVAC unit, if roof mounted, and ladder and work platform if roof pitch is over 4:12.
  - ☐ **Roof Framing Plans (cut and stack)** – Ceiling joists and rafter sizes, spans, and spacing. Header sizes, spans, locations, and lumber grade. HVAC unit location, if roof mounted. Outrigger sizes, spans, spacing, and locations. Roof sheathing materials and nailing requirements. Underlayment and type of roof covering. Attic ventilation. Connection detail. Beam locations, sizes, and Engineering as required.
  - ☐ **Room Framing Plans (Pre-engineered Roof Trusses)** – Truss engineering from the truss manufacturer. Truss location including type, span pitch, spacing. Truss location plan. Outrigger details, drop top cord on gable ends, outrigger layout, outriggers to be spaced a maximum of 24 inches on center. HVAC unit, if roof mounted. Roof sheathing material and nailing schedule. Header sizes, spans, locations, lumber grade, and connection details. Attic ventilation. Underlayment and type of roof covering.
  - ☐ **Electrical, Mechanical, and Plumbing Plan** –
    - ☐ **Mechanical\*** - HVAC unit model, size, and location. Duct sizes, calculations, locations and CFM ratings. Register sizes and locations.
    - ☐ **Plumbing** – Provide sizing calculations for water meter and main water supply piping. Provide gas piping plan with sizing calculations for all gas piping. Plumbing plan required only to detail special conditions.
    - ☐ **Electrical\*** – Provide location and type of light fixtures, location of receptacles and switches, location of main electrical service and all sub-panels, and size, indicate all GFCI protected outlets, indicate all AFCI protected currents, Location of all smoke alarms, electrical calculations may be required, call out for a light, switch, and receptable at the attic access, if the HVAC unit is located in the attic.
  - ☐ **Adequate details to explain the construction methods\*** – Include framing details showing nailing schedule, section drawings showing framing member sizes, spacing, beams, bracing, post and beam connections, etc. Any other pertinent details to explain the building construction.
  - ☐ **Energy Calculations\***– Show compliance with California Energy Code regulations, Attach documentation to plans,. CF-1R form must be printed on drawings. Calculations for sizing of the HVAC system. List of specials energy conservation items.
- ☐ Payment of application fees and permit fees. Building Permit Fees are separate from Building Application Fees. Permit Fees are calculated at the time of permit issuance.

## Permit Fees

Refer to the City of Hanford [Master Fee Schedule](#) for fee estimates. If your ADU requires fire sprinklers, solar, or demolition, then additional requirements and fees may be applicable. Contact the City of Hanford Building Division at 559-585-2581 or [permithelp@hanfordca.gov](mailto:permithelp@hanfordca.gov) for further assistance and official determination.

## Impact Fees

Impact fees are typically required for new developments to provide new or expanded public services to the development, including circulation, water, wastewater, storm water, fire, police, refuse, and parks services. Depending on the size of the ADU proposed, impact fees may be waived or reduced. Impact fees are due prior to issuance of certificates of occupancy. Impact fees are calculated by the City of Hanford Public Works Department. They may be contacted at (559) 585-2550 for further assistance.

Size of ADU	Impact Fee Requirement
ADU less than 750 square feet	No City impact fees
ADU more than 750 square feet	City impact fees may be required and are to be charged proportionately in relation to the square footage of the primary dwelling

School fees shall be applied for ADUs over 500 square feet.

## Connection Fees or Capacity Charges

Depending on the type of ADU proposed, new or separate utility connections may be required including water, sewer, gas, and electricity, which can add connection fees or capacity charges. Contact the Public Works Department at (559) 585-2550 for further assistance regarding utility connections.

ADU Type	Connection & Fees Required
ADU constructed at the same time as a primary dwelling	A separate utility connection between the ADU and the utility, and payment of the connection fee and capacity charge for a new dwelling is required
ADU or JADU on a lot with a proposed or existing single-family dwelling, where the ADU or JADU is contained within the space of the single-family dwelling	No separate utility connection or payment of a connection fee or capacity charge is required
All other ADU types	A new, separate utility connection between the ADU and the utility, and payment of the connection fee and capacity charge at a “reasonable cost” is required

## Miscellaneous Reports, Documents, and Fees

Other miscellaneous reports and documents may be required, based on the ADU concept and site characteristics.

Miscellaneous Reports	Requirements and Fees
Energy Calculations and Forms (Title 24)	State law requires every new residential construction, alteration, and addition to meet the latest California Title 24 Building Energy Efficiency Standards. To demonstrate compliance, a Building Permit Application for an ADU is required to include a California Code of Regulations (CCR) Energy Analysis or Energy Compliance Report or “CF1R” that shows how your ADU will comply with Title 24. This requires you to hire a certified third-party consultant to complete the calculations and produce a report. The consultant will need the ADU plan set to be able to complete their work and fees will vary based on the consultant or company. Contact the City of Hanford Building Division at (559) 585-2581 or <a href="mailto:permithelp@hanfordca.gov">permithelp@hanfordca.gov</a> for more information.
Fire Sprinkler System	Fire Sprinklers are required to be installed in an ADU if they are installed in the primary dwelling. If Fire Sprinklers are required, then plans are required to be submitted prior to issuance of a building permit. Additional permitting fees may be required. Review the <a href="#">City of Hanford Fire Permit Application</a> or contact the Hanford Fire Department at (559) 585-2545 for details. Permit submittals shall be online through the <a href="#">Citizen Self Service Portal</a> ; utilize the “Fire Sprinkler” application.
Photovoltaic (“Solar”) Permits	Solar panels may be required for newly-built ADUs in compliance with the latest California Title 24 Building Energy Efficiency Standards. Additional permitting fees may be required. Review the <a href="#">City of Hanford Solar Permits</a> webpage or contact the Building Division for details.
Demolition Permit	If demolition of an existing structure is required in order to build your ADU, then a Demolition Permit Application and required documentation are required to be submitted. Additional permitting fees may be required. Contact the City of Hanford Building Division at (559) 585-2581 or <a href="mailto:permithelp@hanfordca.gov">permithelp@hanfordca.gov</a> for more information.

# 4

## SECTION 4.

### PRE-REVIEWED ADU PROGRAM

The City of Hanford Pre-Reviewed ADU Program (“Program”) is an optional and voluntary program that provides plan sets for new construction detached ADUs that have been pre-reviewed by the City of Hanford. The plan sets are provided at no cost to the participant, helping reduce design costs and the overall time it takes to receive building permit approval.

----- BENEFITS OF PARTICIPATING IN THE PROGRAM -----

- **Save on design costs** - save costs on architectural/ design services, structural engineering services, plan review fees.
- **Enjoy a streamlined permitting process** - plans are already reviewed and approved by the Building Division.
- **Don't sweat the details** - plans already meet Building Code requirements.

----- HOW IT WORKS -----

1. Choose Your ADU Layout & Style

The Program offers free plan sets for new construction detached ADUs that have been pre-reviewed by the City of Hanford. The plans are offered in four sizes and three designs. The floor plans and elevations for each option are shown on the following pages.

To make sure a plan set will fit on your property and meet zoning requirements, plot your property as it exists today and measure out the minimum requirements for setbacks. Don’t forget to account for any site constraints (Page 6). Contact the City of Hanford Planning Division at (559) 585-2580 for assistance.

2. Prepare Your Building Permit Application Package

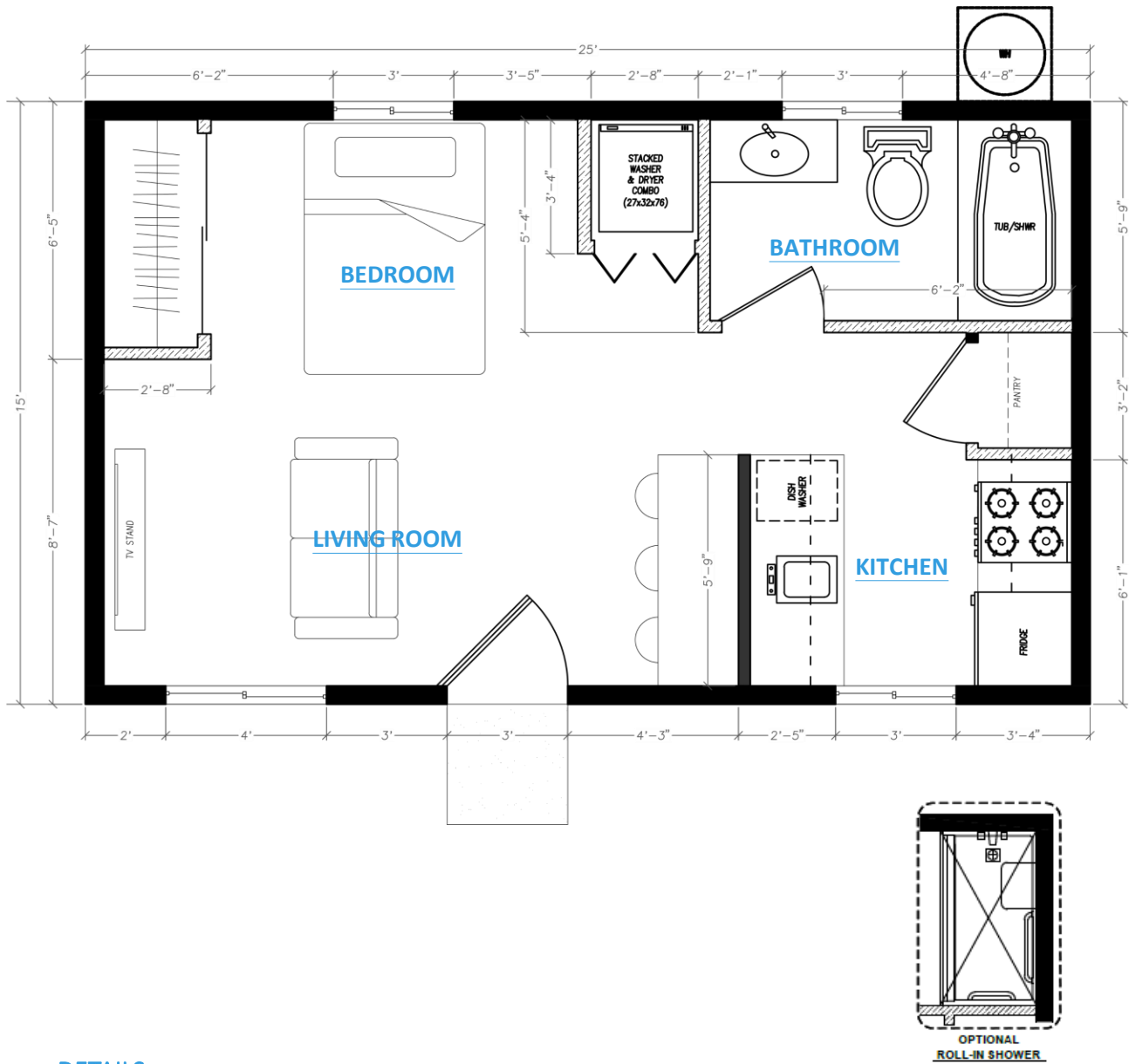
Refer to the Submittal Requirements, and Fees and Additional Requirements outlined on Pages 7-10. Materials provided in the Program and materials to be prepared by the property owner/applicant are summarized below. All required materials shall be submitted online through the [Citizen Self Service Portal](#) as part of the building permit application. Contact the City of Hanford Building Department at (559) 585-2581 or [permithelp@hanfordca.gov](mailto:permithelp@hanfordca.gov) for further assistance and official determination.

Required Plans/Reports Provided in Program	Responsibility of Property Owner/Applicant
<ul style="list-style-type: none"><li>• Floor Plan</li><li>• Foundation Plan</li><li>• Exterior Elevations</li><li>• Roof Framing Plan</li><li>• Electrical Plan</li><li>• Mechanical Plan/HVAC Sizing Calculations</li><li>• Energy Calculations</li></ul>	<ul style="list-style-type: none"><li>• Building Permit Application Form</li><li>• Site Plan</li><li>• Grading Plan (if required)</li><li>• Plumbing Plan</li><li>• Truss Calculations and Truss Layout Plan</li><li>• Permit Fees</li><li>• Any miscellaneous reports and permits</li></ul>

## ----- FLOOR PLANS -----

### FLOOR PLAN 1

#### 375 SQUARE FOOT FLOOR PLAN – STUDIO / 1 BATHROOM

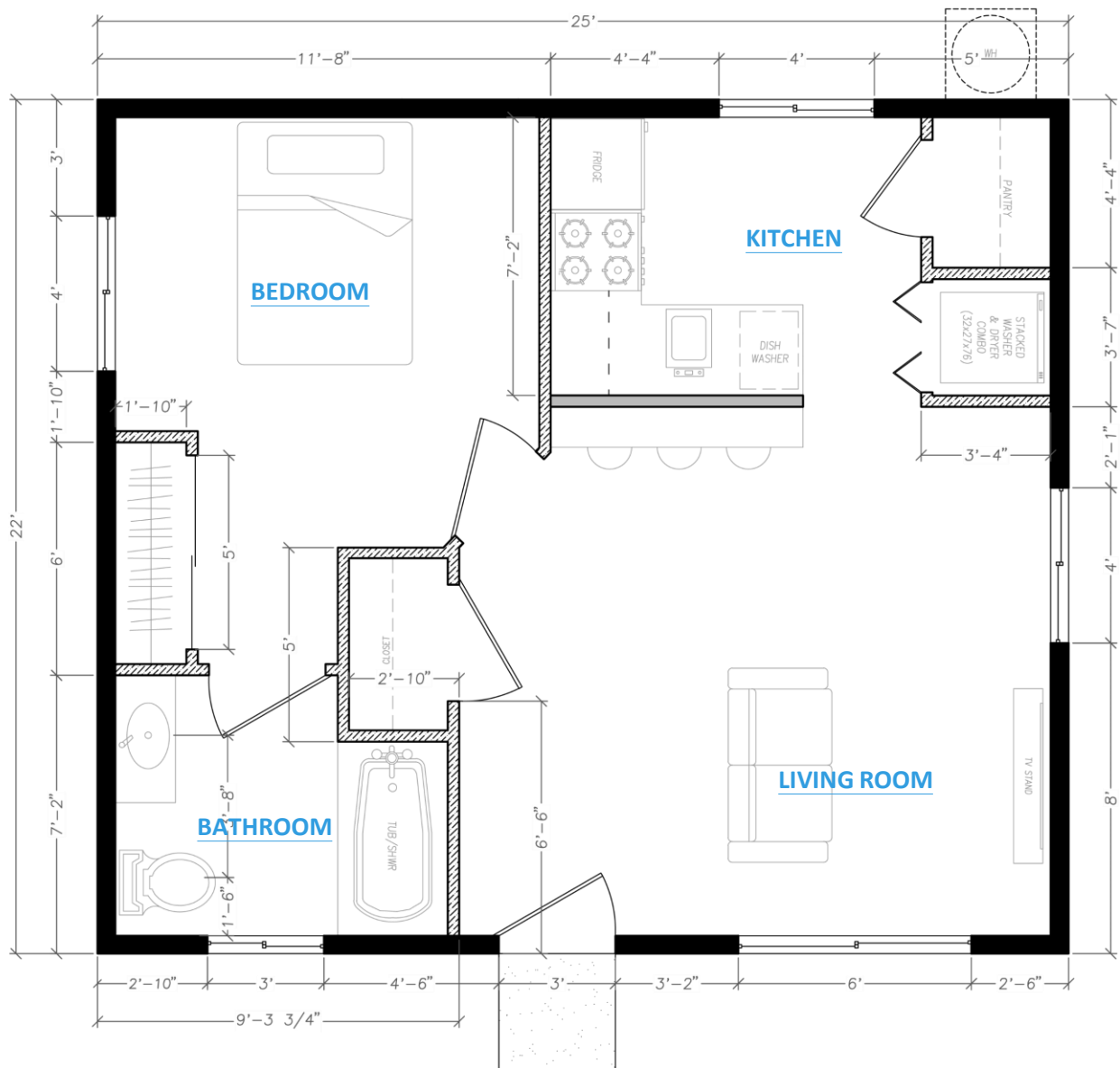


#### DETAILS

- One bathroom
- Kitchen with pantry closet
- Washer and dryer closet (stacked)
- Dining Bar
- Living Room
- Bathroom with shower/tub combination

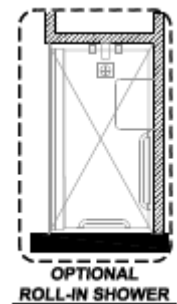
## FLOOR PLAN 2

### 550 SQUARE FOOT FLOOR PLAN – 1 BEDROOM / 1 BATHROOM



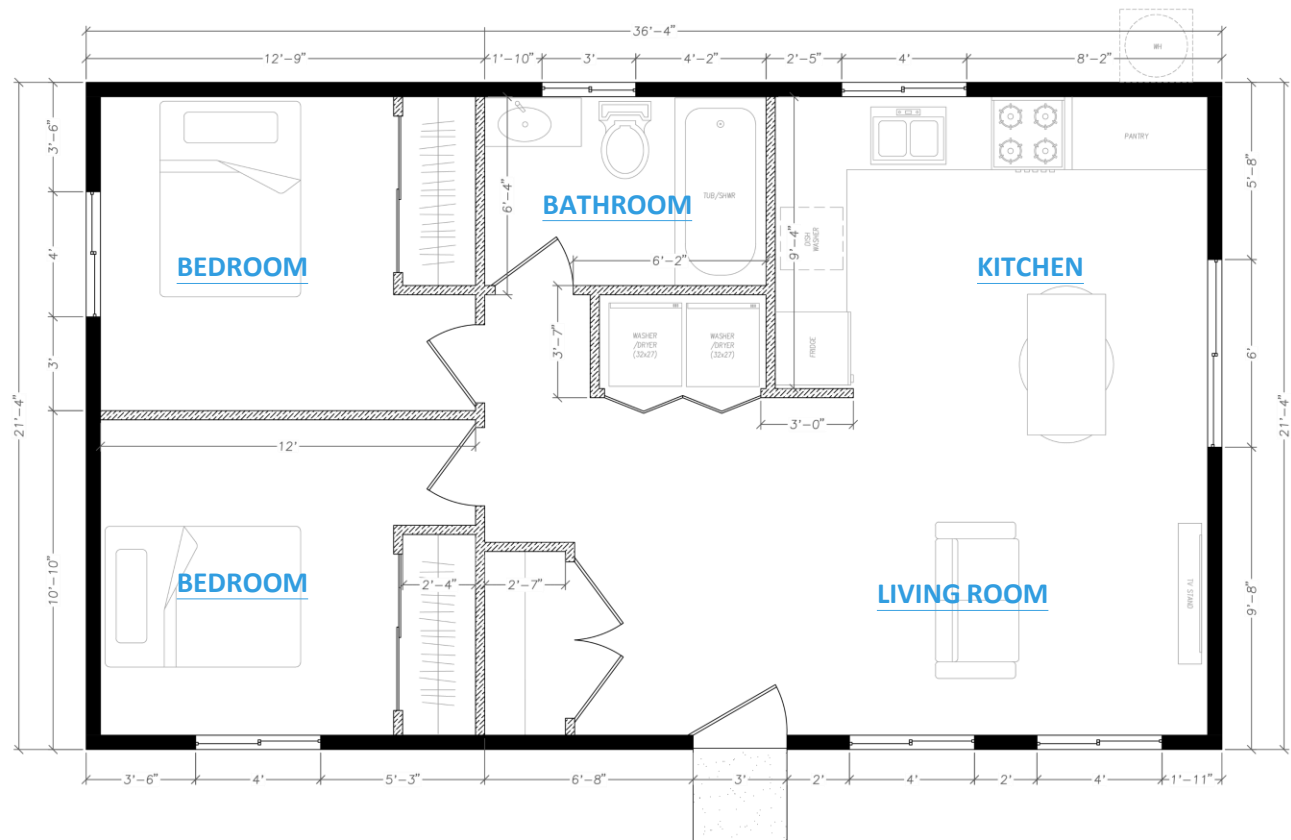
#### DETAILS

- One bedroom
- One bathroom
- Kitchen with pantry closet
- Washer and dryer closet (stacked)
- Dining Bar
- Living Room
- Bathroom with shower/tub combination



### FLOOR PLAN 3

#### 743 SQUARE FOOT FLOOR PLAN – 2 BEDROOMS / 1 BATHROOM



#### DETAILS

- Two bedrooms
- One bathroom
- Kitchen with pantry closet
- Washer and dryer closet (side-by-side)
- Dining Room
- Living Room
- Bathroom with shower/tub combination



## 908 SQUARE FOOT FLOOR PLAN – 2 BEDROOMS / 1 BATHROOM



- Two bedrooms
- One bathroom
- Kitchen with pantry closet
- Washer and dryer closet (side-by-side)

- Dining Room
- Living Room
- Bathroom with shower/tub combination

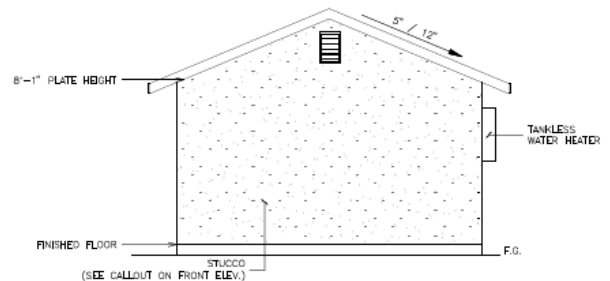
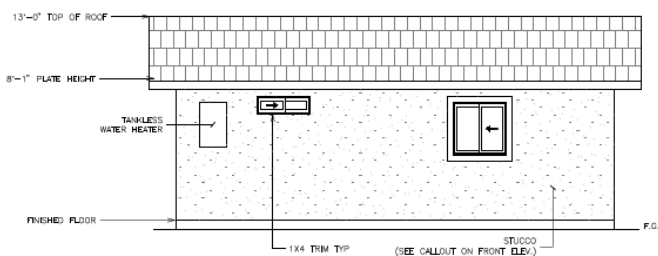
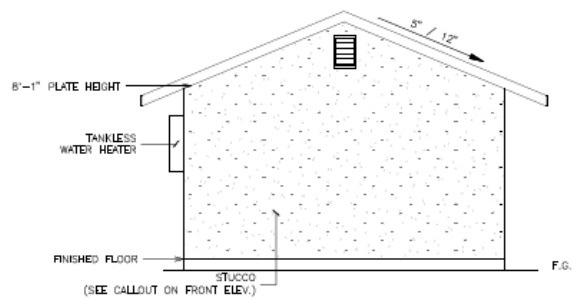
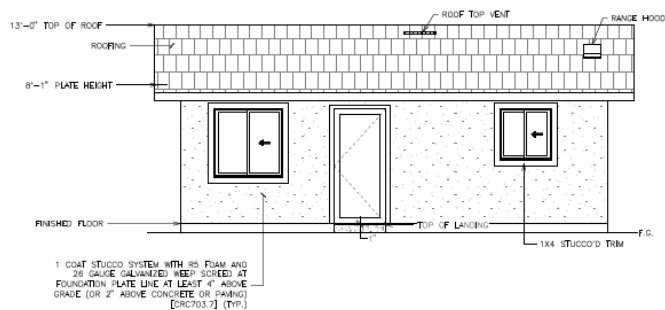
# ----- ELEVATIONS -----

## ELEVATION A

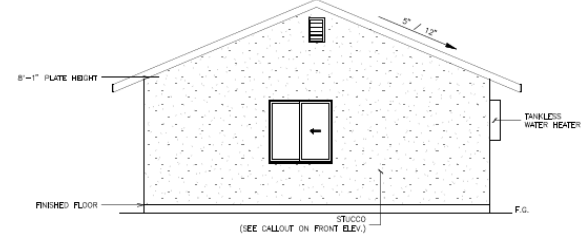
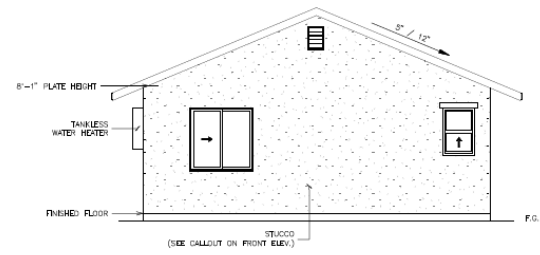
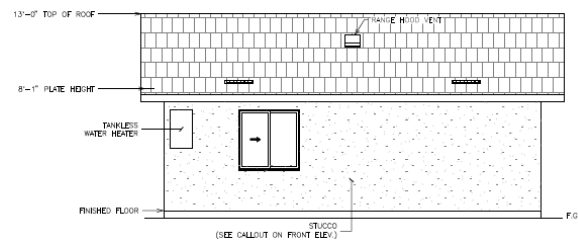
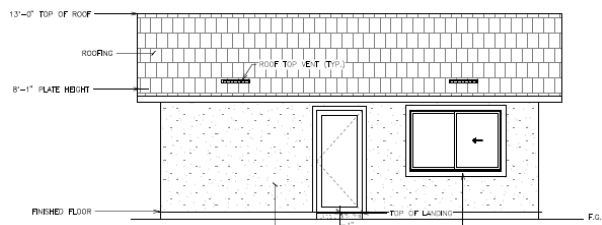
### SPANISH/MEDITERRANEAN



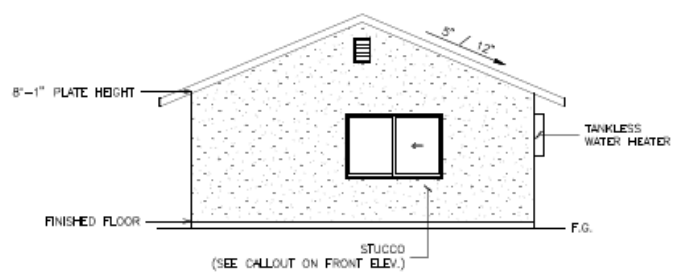
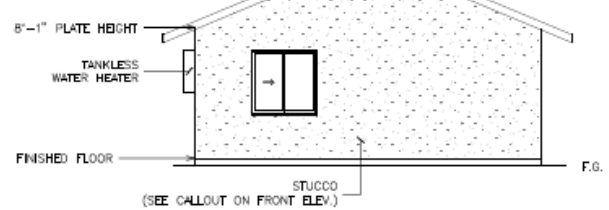
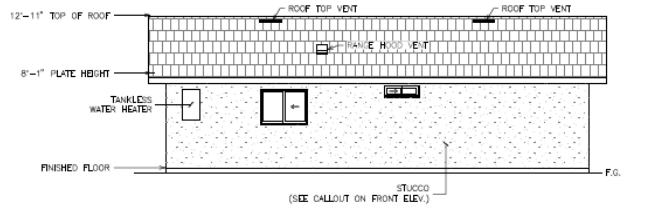
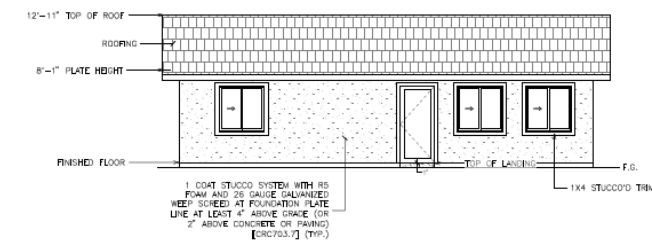
### 375 Square Foot Elevation:



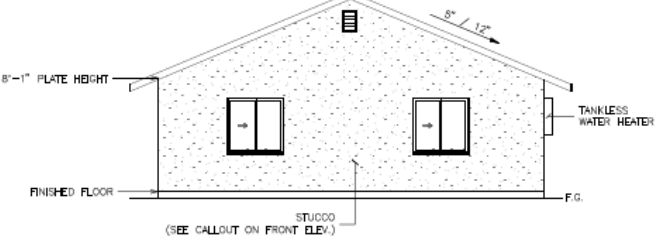
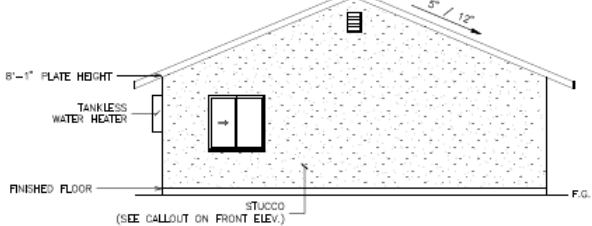
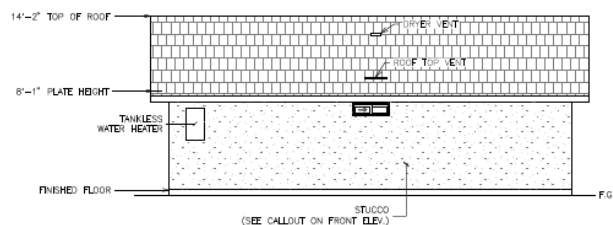
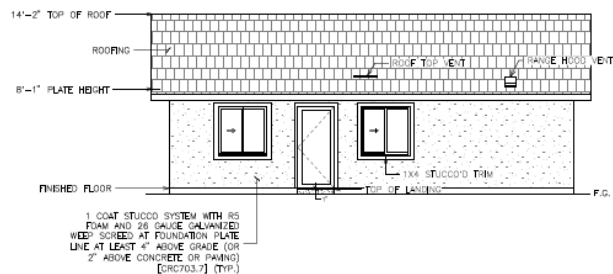
### 550 Square Foot Elevation:



### 743 Square Foot Elevation:



### 908 Square Foot Elevation:



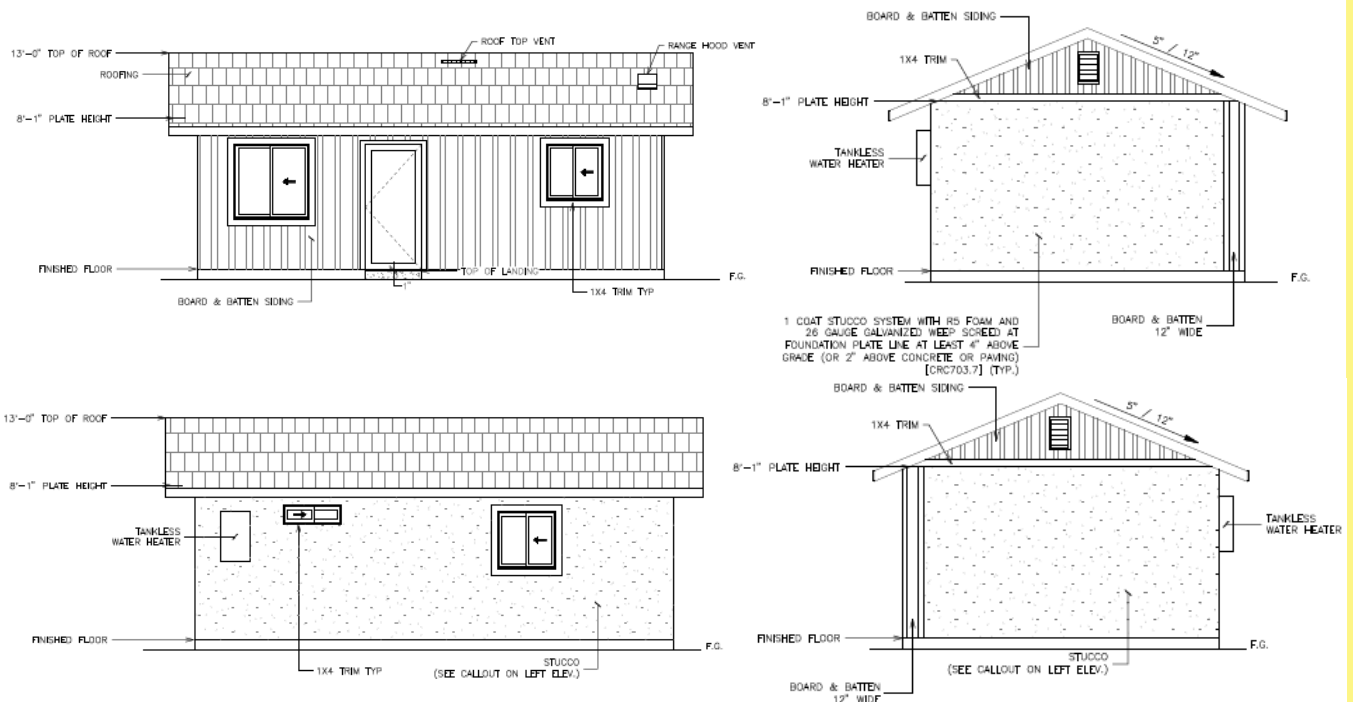


## ELEVATION B

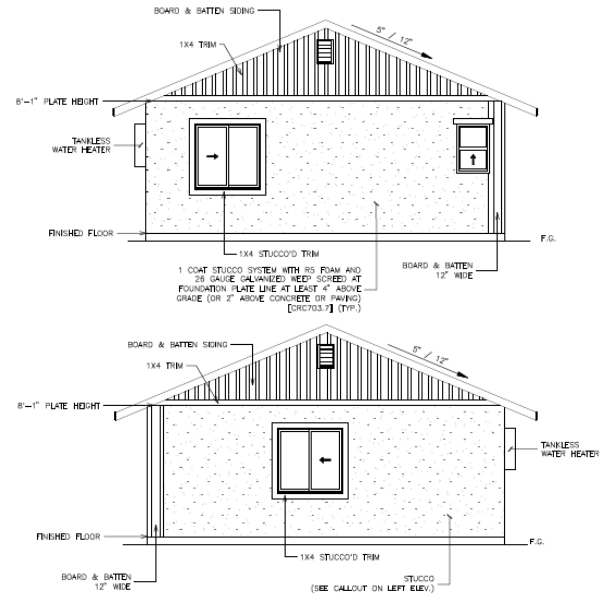
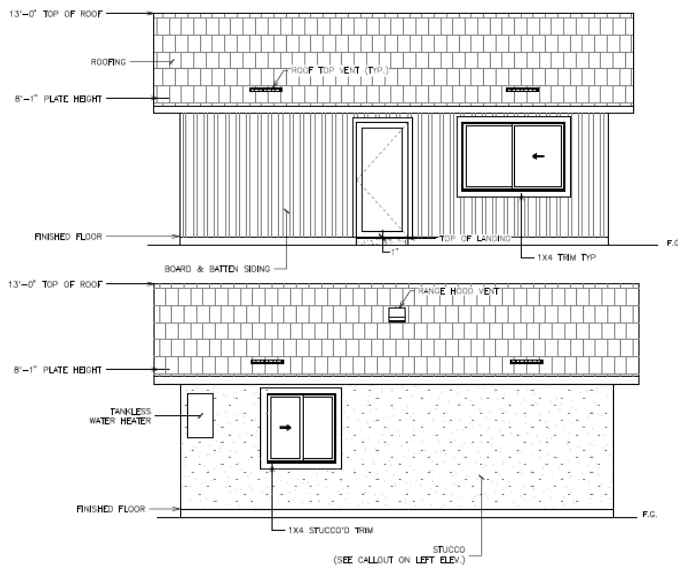
### MODERN FARMHOUSE



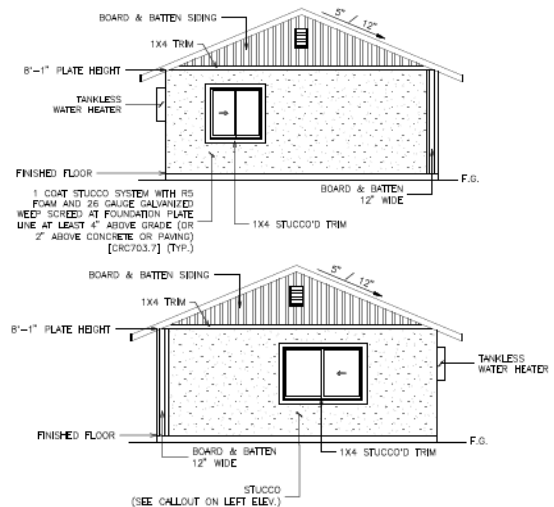
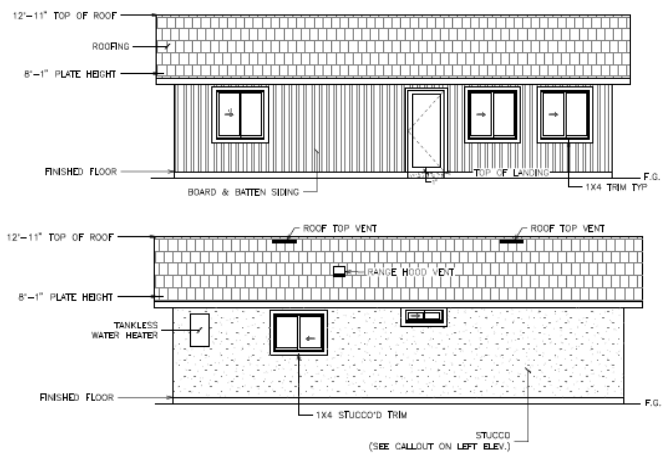
#### 375 Square Foot Elevation:



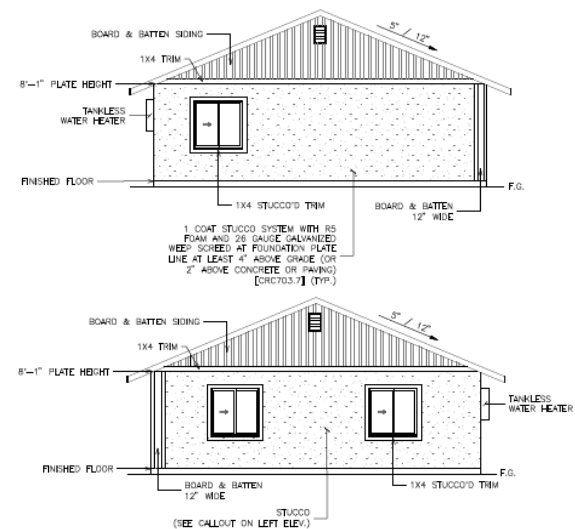
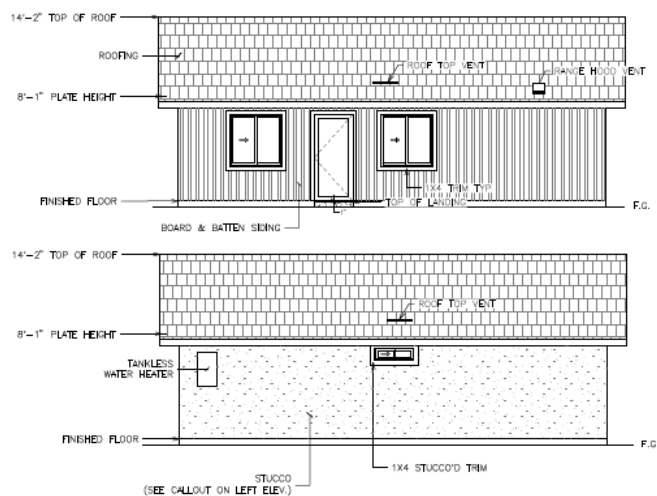
### 550 Square Foot Elevation:



### 743 Square Foot Elevation:



### 908 Square Foot Elevation:

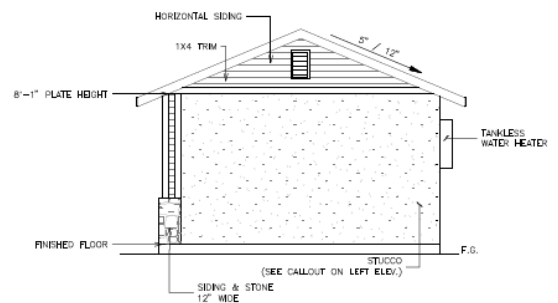
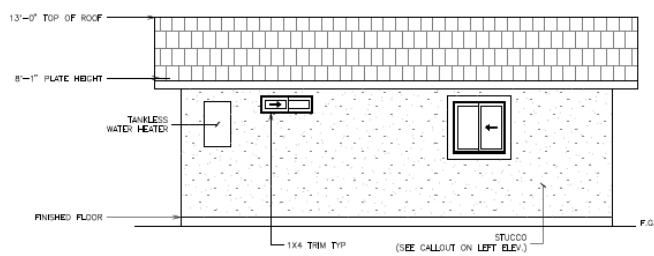
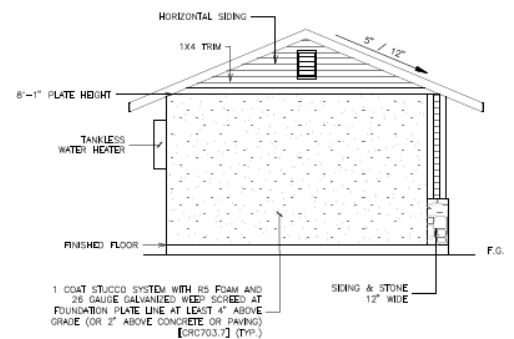
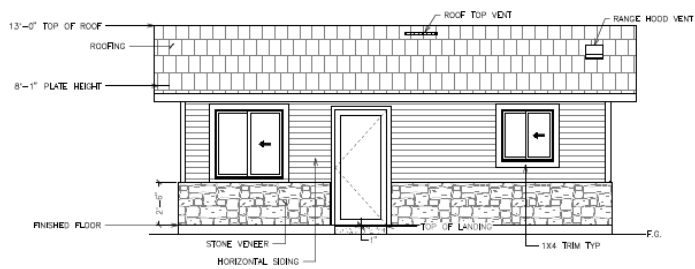


## ELEVATION C

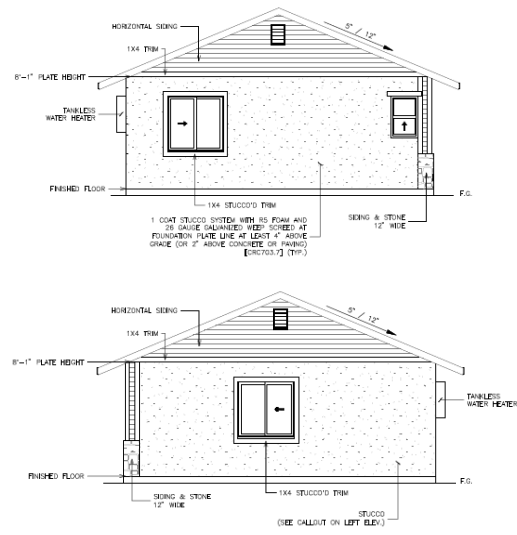
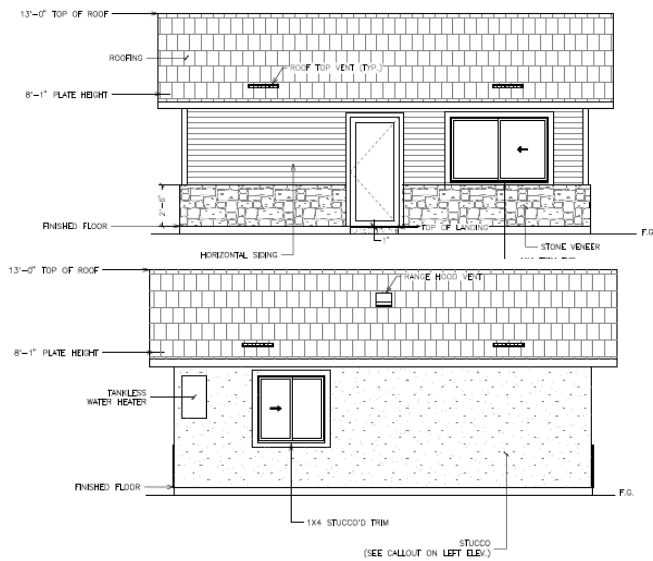
### CRAFTSMAN/BUNGALOW



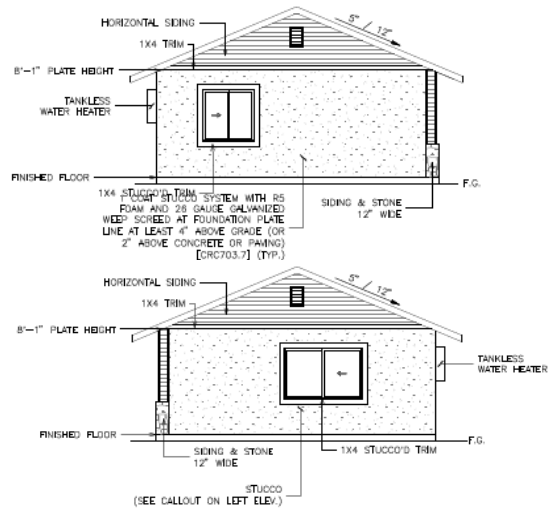
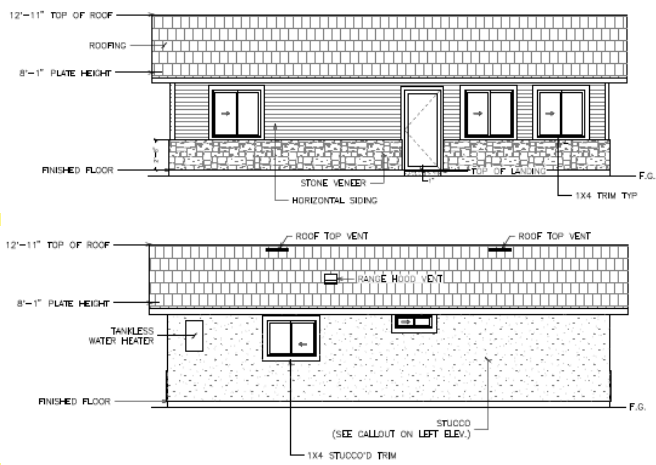
#### 375 Square Foot Elevation:



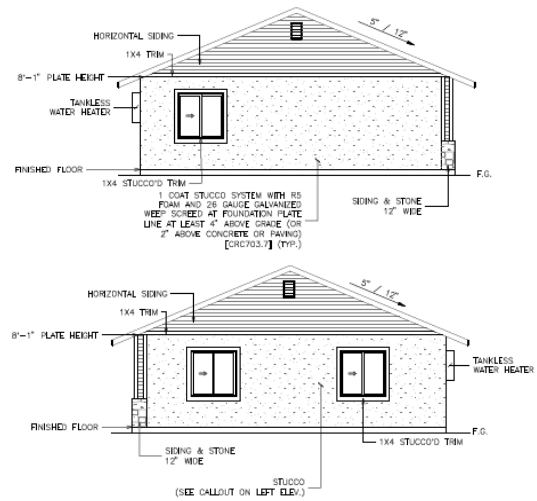
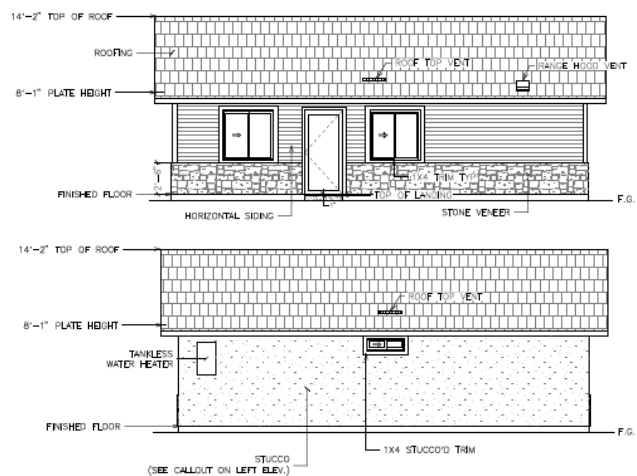
### 550 Square Foot Elevation:



### 743 Square Foot Elevation:



### 908 Square Foot Elevation:





# 5

## SECTION 5. RESOURCES, CONTACTS AND FURTHER READING

### ----- FREQUENTLY ASKED QUESTIONS -----

Where are ADUs allowed? Page 4

What types of ADUs are allowed? Page 2

How many ADUs can I build on my property? Page 6

What are the site requirements for my property? Page 6

What are the size limitations for ADUs? Page 6

### ----- RESOURCES, CONTACTS, AND FURTHER READING -----

#### Resources

Hanford Zoning Ordinance – <https://ecode360.com/43893676>

California Residential Code - <https://www.dgs.ca.gov/BSC/Codes>

CalGreen Code - <https://www.dgs.ca.gov/BSC/CALGreen>

City of Hanford Community Development Department- <https://www.ci.hanford.ca.us/166/Community-Development>

#### Contacts

City of Hanford Planning Division – (559) 585-2580

City of Hanford Building Division – (559) 585-2581 or [permithelp@hanfordca.gov](mailto:permithelp@hanfordca.gov)

City of Hanford Public Works Department – (559) 585-2550 or 900 S. 10<sup>th</sup> Avenue, Hanford, CA 93230

City of Hanford Fire Department – (559) 585-2545 or 350 W. Grangeville Boulevard, Hanford, CA 93230

#### Further Reading

California Department of Housing and Community Development – ADU Handbook (Updated July 2022) - <https://www.hcd.ca.gov/sites/default/files/2022-07/ADUHandbookUpdate.pdf>

California Government Code Sections 66310 – 66342 - [https://leginfo.legislature.ca.gov/faces/codes\\_displayexpandedbranch.xhtml?lawCode=GOV&division=1.&title=7.&part=&chapter=13.&article=2.&goUp=Y](https://leginfo.legislature.ca.gov/faces/codes_displayexpandedbranch.xhtml?lawCode=GOV&division=1.&title=7.&part=&chapter=13.&article=2.&goUp=Y)



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